

MEMORANDUM

DATE: July 10, 2006
 TO: Montgomery County Planning Board
 VIA: Rose Krasnow, Chief *RK*
 Michael Ma, Supervisor *Ma*
 Development Review Division
 FROM: Linda Komes, RLA, AICP *LK*
 (301) 650-2860
 REVIEW TYPE: **Site Plan Amendment**
 CASE #: **81974005B (formerly 8-74005B)**
 PROJECT NAME: Lockheed Martin Corporation Center for
 Leadership Excellence
 APPLYING FOR: Approval of 209,032 sf of corporate training center use, including lodging,
 conference and dining facilities on 26.51 acres.
 REVIEW BASIS: Div. 59-D-3 of Montgomery County Zoning Ordinance
 ZONE: C-P (commercial office park)
 LOCATION: 6801 Rockledge Drive, approximately 1300 feet north of its intersection with
 Westlake Terrace.
 MASTER PLAN: North Bethesda/Garrett Park
 APPLICANT: Lockheed Martin Corporation
 FILING DATE: April 4, 2006
 HEARING DATE: July 27, 2006



SUMMARY

The application proposes approximately 209,032 sf of corporate training center use, including lodging, conference, and dining facilities in the C-P (commercial office park) zone on the 26.51-acre Lockheed Martin Corporate Headquarters property in Rock Springs Office Park.

The project consists of three primary components: a two-story conference and classroom building, a 200-room, eight-story lodging facility, and a single-level, 250-seat auditorium building. All of the parking will be located in a below grade parking structure.

The Application also includes a parking waiver for the number of parking spaces required pursuant to Section 59-E-3.7 of the Zoning Ordinance.

STAFF RECOMMENDATION: Approval of Site Plan 81974005B for 209,032 square feet of corporate training center use, including lodging, conference and dining facilities on 26.51 acres. Approval of Applicant's request to reduce the amount of parking required by Section 59-E-3.7 of the Zoning Ordinance pursuant to Section 59-E-4.5 Waiver-Parking Standards. All site development elements as shown on the Lockheed Martin Center for Leadership site and landscape plans stamped by the M-NCPPC on June 30th and July 10th, 2006 shall be required except as modified by the following conditions:

1. Building Heights

Building heights shall be measured as shown on Site Plan 81974005B, stamped by the M-NCPPC on July 10, 2006.

2. Transportation

a. The amended site plan shall be limited to a total development of up to 456,987 square feet consisting of the following land uses:

1) The existing corporate headquarters of 247,955 square feet as approved under Site Plan 8-74005 with the minor modification to add security fencing.

2) An addition of a "corporate training center" of up to 209,032 square feet that includes:

A. Training, educational, and conference facilities.

B. Related lodging facility with up to 200 rooms for persons using the training center and/or visiting the corporate headquarters.

C. Related dining, recreational, and other support facilities.

b. The proposed total development shall be limited to the existing corporate headquarters and proposed "corporate training center" primarily for the applicant's affiliates or business partners in order to be in compliance with Section TA4.1.2 of the AGP.

c. The Applicant shall Satisfy the APF/Local Area Transportation Review (LATR) test by meeting the following conditions required in Section TA4 of the AGP:

1) Participate in the North Bethesda Transportation Management Organization (TMO) by entering into a Transportation Mitigation Agreement (TMAg) with the Planning Board and the Montgomery County Department of Public Works and Transportation (DPWT). The TMAg shall be signed and executed by all parties prior to approval of the certified site plan and shall continue in force in perpetuity.

2) Pay all applicable annual Transportation Management District (TMD) fees as required by law.

A. Make the Development Approval Payment (DAP) to the County that should be used toward the following off-site intersection improvements prior to issuance of any building permit:

i. Add a separate right turn lane on northbound Rockledge Drive at the intersection of Rockledge Drive-Boulevard and Rock Forest Drive-Rockledge Drive.

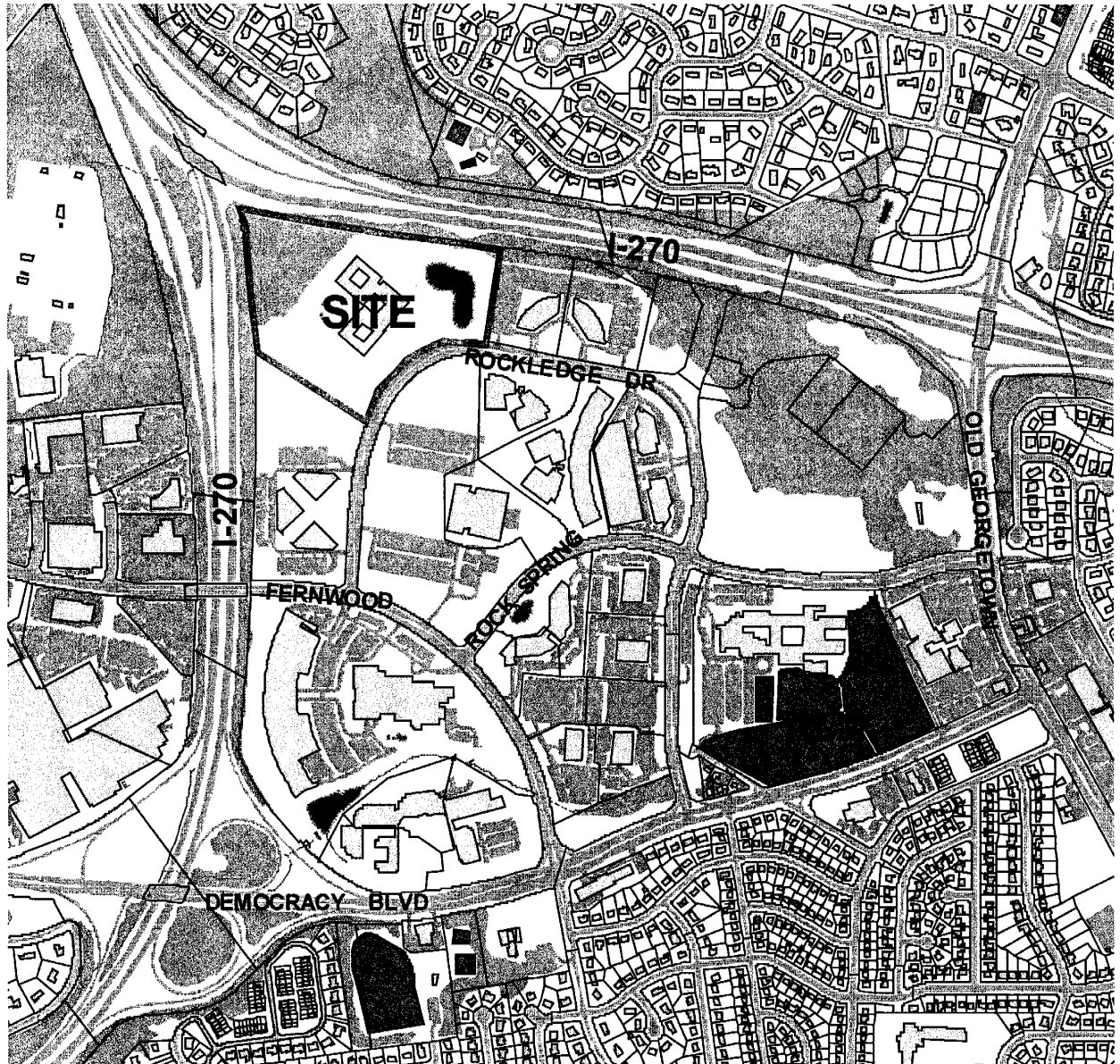
ii. Add a second right-turn lane from southbound I-270 East Spur off-ramp at the intersection with Rockledge Boulevard.

- iii. Add a second right turn lane from southbound Rockledge Boulevard to westbound Rockledge Drive.
 - d. To support the requested parking waiver, applicant shall promote and publicize available transit options to both employees and attendees to discourage single-occupant auto travel to and from the site.
 - e. The Applicant shall provide one (1) bike locker for each 20 automobile parking spaces per Section 59-E-2.3 of the County Ordinance. The bike lockers shall be located in a well-lit, visible area of the garage. The location of all bike lockers shall be specified prior to approval of the certified site plan.
- 3. Certified Site Plan
 Prior to certified site plan approval of site and landscape/lighting plans the following revisions shall be included and/or information provided, subject to staff review and approval:
 - a. All building setbacks shall be clearly dimensioned on the site plan.
 - b. The Site Development Data Table on the plan shall be corrected to show the corrected building square footage as 209,032 square feet.
 - c. A minimum eight-foot-wide landscape panel with 4"-4 1/2" caliper street trees planted 40 feet on center, and a six-foot-wide concrete sidewalk shall be provided along Rockledge Drive. The street tree species shall be identical to that planted across Rockledge Drive on the Opus site (8-89049D) and shall be determined prior to certified site plan approval. The ultimate location of the existing streetlights shall also be coordinated and consistent with the Opus development.
 - d. A six-foot-wide lead-in sidewalk, located a minimum of six feet behind the curb, shall be provided along the eastern entrance drive. Provide street trees 40 feet on center between sidewalk and the edge of the entrance road.
 - e. Cross walks shall be provided across both driveway entrances along Rockledge Drive.
 - f. The main paver field for the entry court shall be granite pavers as indicated in the construction details on Sheet L2.01.
 - g. Construction details for the reflecting pool and surrounding outdoor amenity areas shall be added to the plans, including (but not limited to) sections through the pond clearly depicting wall height, water depth, materials, planting, lighting, etc.
 - h. Floorplans for the underground parking garage shall be submitted for approval which show 280 parking spaces in conformance with Section 59-E-2.2, and the location of the required bicycle lockers and motorcycle parking spaces in conformance with Section 59-E-2.3.
- 4. Tree Save Plan
 - a. The proposed development shall preserve the trees as indicated on the final tree save plan that will be approved as part of the certified site plan approval. Every effort shall be made to reduce the grading and site disturbance in order to save existing mature trees and quality vegetation located along the north side of the reconstructed entrance road and on the northeast corner of the existing building in the vicinity of the proposed stormwater management facilities.
 - b. The Applicant shall contact the M-NCPPC Inspector for a pre-construction inspection of tree protection measures and authorization to proceed prior to any clearing or grading on the site.
- 5. Stormwater Management
 The proposed development is subject to Stormwater Management Concept approval conditions dated March 27, 2006, (see Appendix A), unless amended and approved by the Montgomery County Department of Permitting Services.
- 6. Development Program
 Applicant shall construct the proposed development in accordance with the Development Program. A Development Program shall be reviewed and approved by M-NCPPC staff prior to approval of certified site plan. The Development Program shall include a phasing schedule as follows:

- a. Streetscape improvements including paving, re-located lighting (if necessary), and tree planting for Rockledge Drive. These improvements shall be completed no later than six months after the issuance of the first use and occupancy permit. A copy of the use and occupancy permit shall be provided to site plan enforcement staff within 10 days of issuance so that staff can initiate the inspection process.
 - b. Clearing and grading shall correspond to the construction phasing, to minimize soil erosion.
 - c. Phasing of dedications, stormwater management, sediment/erosion control, pedestrian paths, trip mitigation or other features.
 - d. The reflecting pool and outdoor amenity areas, including all paving, planting, lighting, and site furnishings shall be completed no later than six months after the issuance of the first use and occupancy permit. A copy of the use and occupancy permit shall be provided to site plan enforcement staff within 10 days of issuance so that staff can initiate the inspection process.
7. Demolition, Clearing and Grading
No demolition, clearing, or grading prior to M-NCPPC approval of certified site plan of plans.

PROJECT DESCRIPTION: Site Vicinity

The subject site is located on the north side of Rockledge Drive on the Lockheed Martin Corporate headquarters property in Rock Spring Office Park. Adjacent property to the south contains an office building developed and owned by Boston Properties, adjacent property to the east is also developed with office buildings. I-270 spur roads lie adjacent to the north and west property lines of the site. Confronting property across Rockledge Drive is zoned I-3 and is developed with office buildings as part of the Opus/IBM corporate headquarters site.



PROJECT DESCRIPTION: Site Description

The 26.51-acre site serves as the Lockheed Martin Corporation world headquarters, and is located at 6801 Rockledge Drive in Bethesda, between the two I-270 spur roads. The site is currently developed with an L-shaped, four-story office building consisting of approximately 247,955 square feet. Parking is predominantly located in an underground parking garage. The site is noteworthy for its beautiful park-like setting, which features lushly landscaped, highly manicured grounds and a very attractive stormwater management pond. The existing pond will be removed to accommodate the new development. A 36-inch water main owned and operated by the WSSC crosses the site and will be relocated as part of the development of this site.

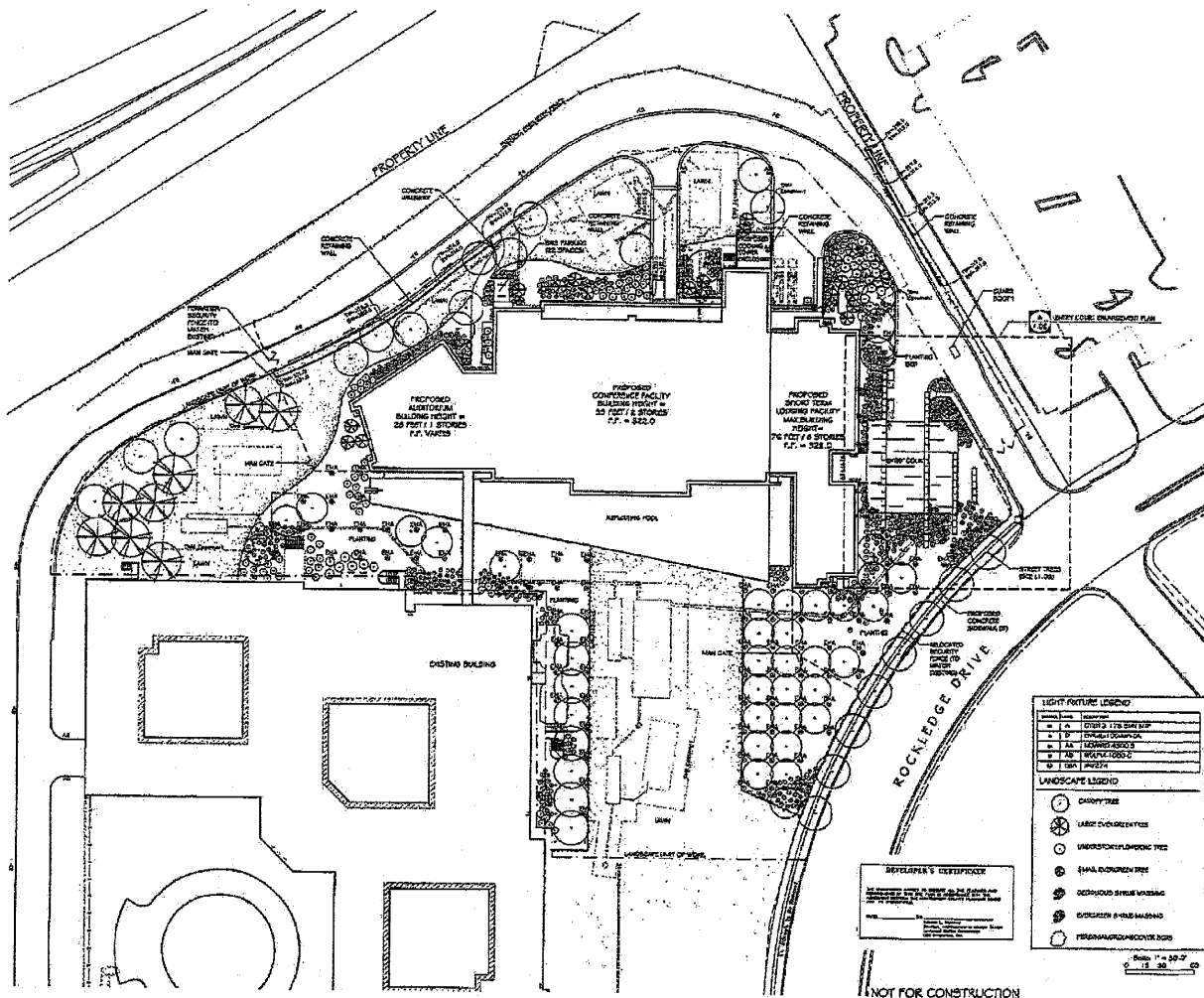
A grove of existing trees visually buffers the site from the I-270 spurs to the north and west, and efficiently and attractively screens the view of the development from Rockledge Drive. The site includes an extensively landscaped, circular entry court, built overtop of an underground parking garage. The entry court, which includes numerous mature specimen trees, may well be one of Montgomery County's first green roofs, having been built almost 30 years ago!

The site is currently completely enclosed by security fencing that was added, through a minor site plan amendment, to address security concerns following September 11th. Access to the property is provided via two gated and secured entrances located off of Rockledge Drive. An internal loop road provides access to building entrance courtyards as well as to the underground parking garage. An existing sidewalk is located behind the curb along Rockledge Drive, but no lead-in sidewalks exist between the public sidewalk along Rockledge Drive and the existing building.



PROJECT DESCRIPTION: Proposal

The Applicant requests approval of a 209,032 sf corporate training and lodging facility known as the Lockheed Martin Center for Leadership Excellence. The Center is intended to be a world-class facility, comparable in scope and quality to corporate training centers long established by companies such as Boeing, IBM, General Electric, 3M, General Mills, etc. The new Center will facilitate education and management training for Lockheed Martin executives, by offering intensive, weeklong sessions to groups from all over country. The three and five-day sessions will be scheduled throughout the year, except during holiday weeks.



The Center will be located in a single building with five distinct components: lodging, a conference center, auditorium, underground parking garage, and a covered walkway connecting the Center to the existing headquarters facility. Together the components are sited and massed to appear as a group of smaller buildings that sit comfortably on the site adjacent to the existing building.

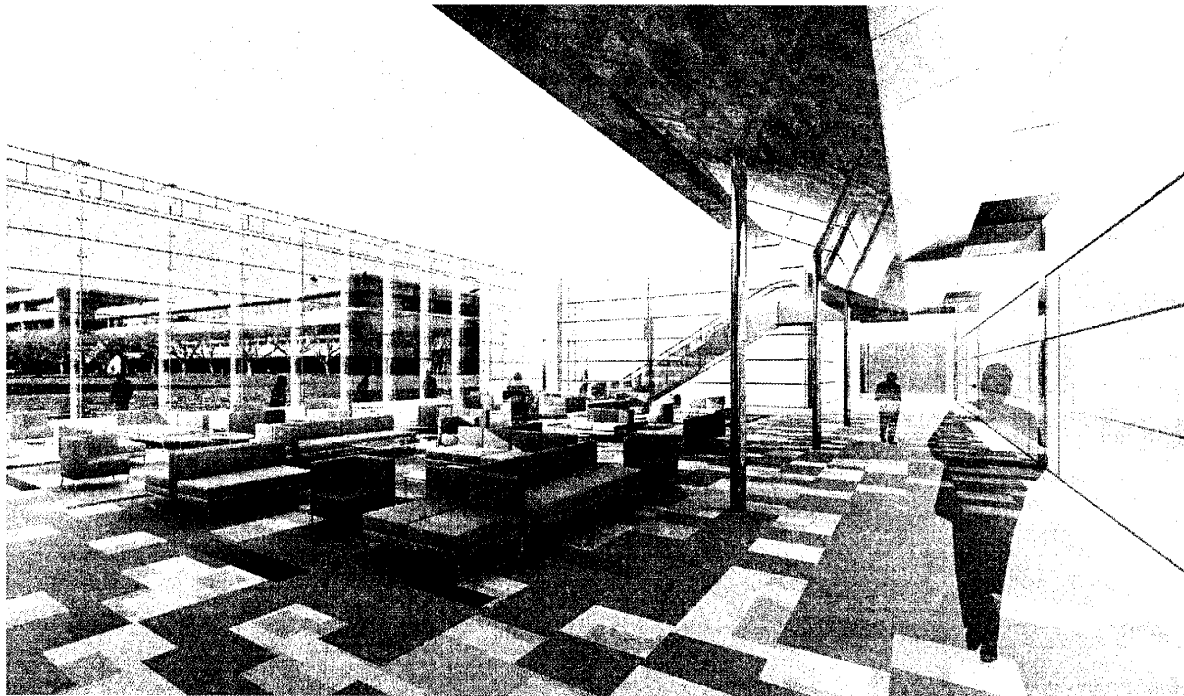
The proposed lodging wing, which will include rooms for approximately 200 guests, is eight stories tall with a basement below, and will be the most visible element from both I-270 and Rockledge Drive. The building will be clad in aluminum and glass curtain wall with irregular mullion spacing adding visual interest.

As guests enter the site from Rockledge Drive, they will pass an entry court paved with granite and integrating decorative bands of granite and stainless steel, echoing the geometry of the new facility. Apart from two handicap accessible parking spaces, the court is for pick-up and drop-off only and is not used for parking. The entry court will be partially screened from Rockledge Drive by shrubs and trees. The entry court leads to a 2-story lobby, within the first floor of the Lodging wing, which also includes hotel-like public functions such as the great room, dining room, coffee bar, and concierge desk. Lodging services and support are located in the basement while guest rooms occupy floors two through eight.

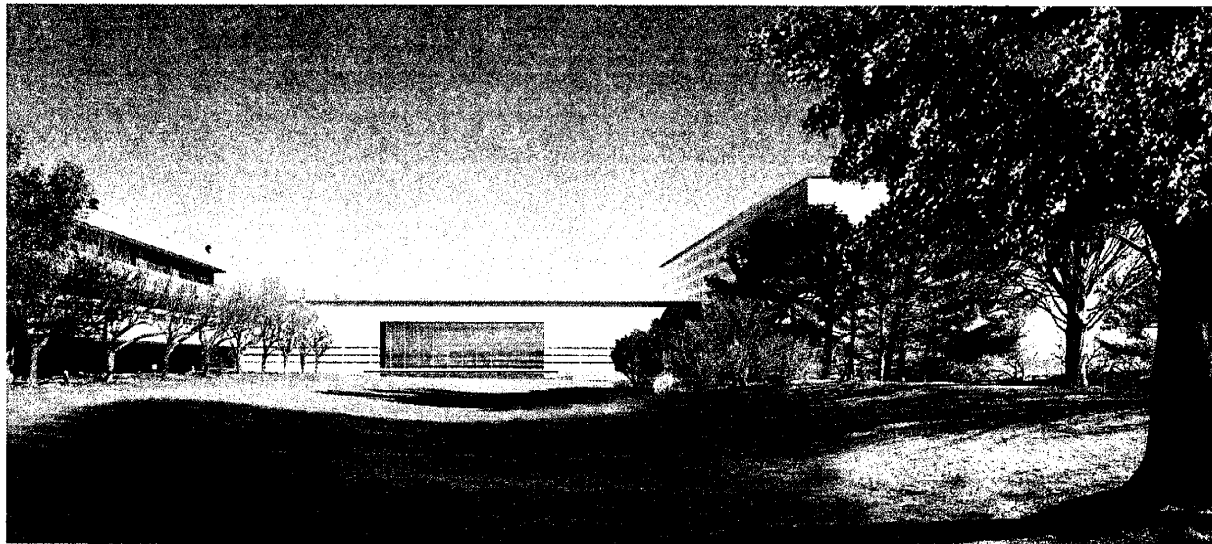


The Conference Center is proposed as a two-story structure located over top of a 280-space underground parking garage. The Lodging facility lobby connects to a central 2-story event space in the Conference Center, with a large glass wall providing expansive views of the existing campus and looking over the water feature, which is a simple reflecting pool. Training rooms surround this space, configured in a two-story “C” shape. This central space will be used for a variety of events, from casual gatherings to retirement celebrations, and is filled with natural light from the glass wall and lines of skylights.

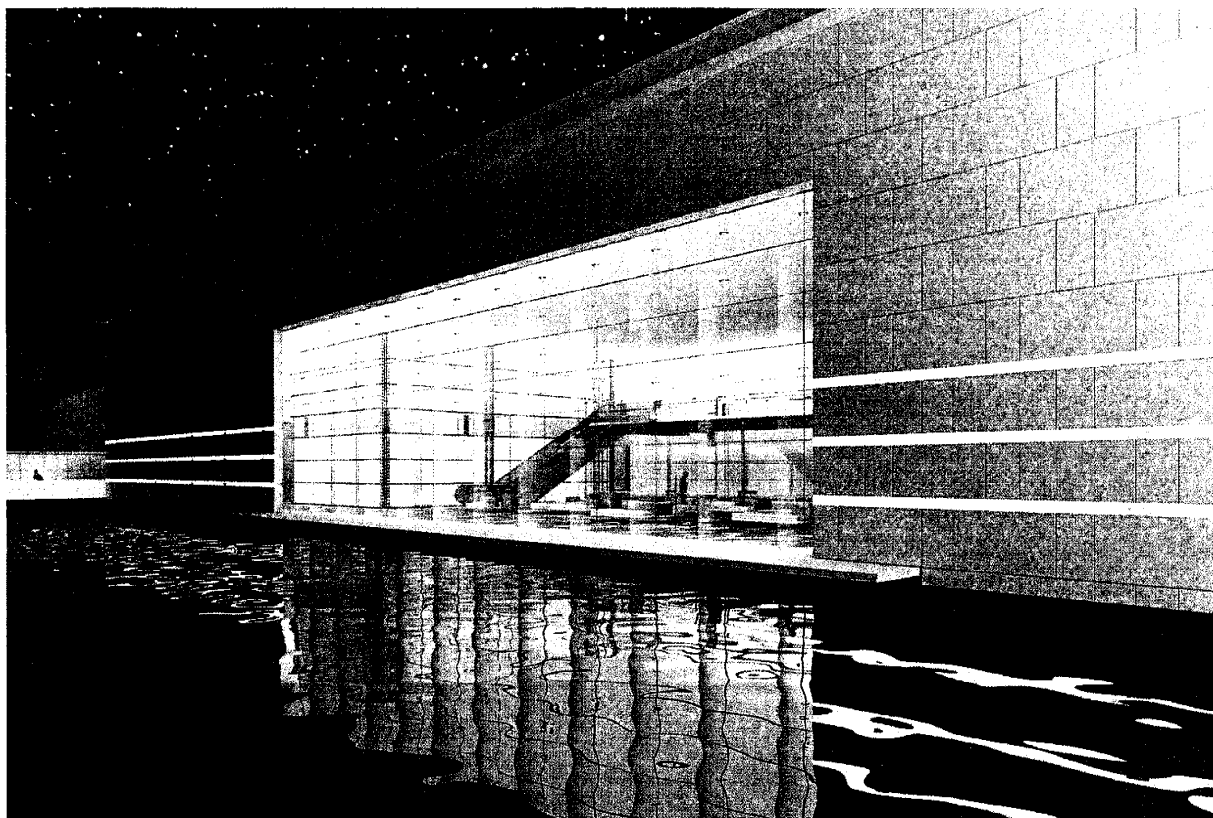
The Conference Center will have a monumental stone or cast stone façade with a metal cornice, and will face the existing campus green and new water feature. The water feature is integral to the building design and is intended to enhance the guest experience and views from the existing headquarters office building.



Adjoining the Conference center is the Auditorium, which is accessed through a gracious pre-function area. The Auditorium is a single level structure with executive seating for 250 people on tiered platforms with built-in desks. It also includes a small stage and will function primarily as a lecture space with substantial audiovisual and tel/data capacity. The Auditorium is located closest to I-270, approximately 150 feet from the right-of-way line. Its façade is designed as a metal panel opaque box with substantial acoustical controls. This treatment will permit natural light and views while minimizing highway noise from the I-270 spur roads.



Together the Conference Center and Lodging wing are connected to 3 levels of underground parking by both stairs and elevators. Additionally, the loading dock is sunk one level below grade to minimize visibility, and is largely screened from view from I-270 by screen walls and landscape. Overall the facility is intended to have a high-tech look reflective of Lockheed Martin's image. To that end, the landscape and hardscape design uses trees and perennials in a geometric manner furthering the aesthetic.



The headquarters site has restricted access to meet Lockheed Martin Corporation's strict security requirements. The Center is planned as a separate building complex that will not have the same security classification as the existing office building. Although it will be linked to the existing office building, security systems will limit pedestrian travel between facilities. The Center will have a separate controlled access entrance off of Rockledge Drive with a guard station and gates, located along the eastern portion of the property. The existing security fence will be supplemented with additional fencing between the existing office and the Center to provide the necessary security for the office building. Pedestrian access from the public right-of-way to the Center will be provided.

The Applicant states that they thoughtfully considered integrating a green roof into the design, but decided against it after evaluating the additional cost, which they believe would add a minimum of 50% more to the cost over a conventional roof system.

The Application also includes a parking waiver for the number of parking spaces required pursuant to Section 59-E-3.7 of the Zoning Ordinance. The application proposes 282 parking spaces noting that program attendees are typically from out of town and are shuttled to the site from nearby airports. 517 parking spaces exist on the site to support the Corporate headquarters building. Lockheed Martin determined the proposed training center needs from its lengthy history of providing off-site training and hosting on-site special events, and at the same time provided a modest buffer for future growth of their

programs. An in depth justification has been provided in Appendix B. The justification notes that there are no directly applicable use categories provided in the parking requirements section of the Zoning Ordinance. Using hotel as the closest use category, approximately 1,361 parking spaces would be required. Lockheed Martin asserts that provision of that number of parking spaces would be inconsistent with the Center's unique needs, would be a valuable waste of green space and would undermine its effort to maintain a pristine and inviting campus environment.

PROJECT DESCRIPTION: Prior Approvals

A Preliminary Plan of Subdivision (1-73108), was approved by the Planning Board for the subject site on March 28, 1974. On June 6, 1974 the Planning Board approved a site plan (8-74005) for the Martin Marietta Headquarters Office Facility. A Final Plat was recorded on June 7, 1974.

In August of 1999, a site plan amendment was approved by the Planning Board for 89,989 sf of corporate office and training center. The approved site plan was never implemented. As a result of security concerns raised subsequent to September 11th, a minor site plan revision was approved permitting the installation of security fencing and entry guardhouses enclosing the entire property.

PROJECT DESCRIPTION: Community Outreach

Lockheed Martin is located in Rock Spring Park and is surrounded by large corporate neighbors. No residential areas are directly affected by the proposed Center for Leadership Excellence. Lockheed Martin has met individually with each of its corporate neighbors to discuss the Center for Leadership Excellence plans and has generally received their support. In addition, on June 5, 2006 Lockheed Martin met with the executive committee for Luxmanor Citizens Association, located to the north of the property across I-2 70, to discuss the project. Approximately 8 citizens attended the meeting. The Applicant states that the attendees seemed to appreciate Lockheed Martin efforts to share it plans, and that no opposition of the project was expressed.

PROJECT DESCRIPTION: Conformance to Development Standards

PROJECT DATA TABLE (C-P)

Development Standard	Required/Permitted By Zoning Ordinance	Previously Approved (8-74005)	Proposed for Approval
Min. Net Lot Area (sf.):	87,120 (2.0 ac.)		1,154,801 (26.51 ac.)
Gross Floor Area (sf.)			
-Existing office	*	247,955	No Change
-Proposed Corporate Training Center			209,032
Total Gross Floor Area (sf.)	1,161,659*		456,987
Building Coverage (%)	20	8.9	14
Building Height (ft.)			
-Existing office	50**	64	64
-Auditorium		N/A	Max. 30**
-Training and conference center		N/A	Max. 38**
-Lodging building	94**	N/A	Max. 85**
Building Setbacks (ft.):			
-From Rockledge Dr.	50	145	68
-From I-270	150	160 (ex. Office bldg.)	150
-From adjacent C-P zoned property	0	300+	22 (guardhouse)
Parking:			
-Existing Office		517	No Change
-Proposed Corporate Training Center		***	282***
Total parking		517	799***
<p>* The Zoning Ordinance does not specify a maximum FAR in the C-P zone; however, the Master Plan projected a possible FAR of 1-1.25 which would yield approximately 1,161,659 sf.</p> <p>** Per Section 59-C-4.333 (b)(1) of the Zoning Ordinance, building height may be increased by one foot for each foot by which the building setback exceeds the minimum setback required in the adjoining zone. Pursuant to Section 59-A, because the buildings are setback more than 35 feet from the streetline, building height is measured from the average elevation of finished ground surface along the front of the building.</p> <p>*** Pursuant to Section 59-E-4.5 of the Zoning Ordinance a parking waiver has been submitted as part of this application. No directly applicable parking use category exists for this use. See discussion section of report for justification</p>			

ANALYSIS: Conformance to Master Plan

The site is located in the Rock Spring Park area as defined by the *1992 North Bethesda-Garrett Park Master Plan*. The site plan, when amended to make sidewalk improvements along the Rockledge Drive frontage, will be in conformance with the recommendations of the Master Plan.

A memorandum from the Community Based Planning Division is attached in Appendix A and further elaborates on how the proposal conforms with the Master Plan and includes several recommendations which have been included as Conditions in the Recommendation Section of this report.

FINDINGS: For Site Plan Review

1. *The Site Plan conforms to all non-illustrative elements of a development plan or a diagrammatic plan, and all binding elements of a schematic development plan, certified by the Hearing Examiner under Section 59-D-1.64, or is consistent with an approved project plan for the optional method of development, if required, unless the Planning Board expressly modifies any element of the project plan.*

No development, diagrammatic or project plan is required for development within the C-P zone.

2. *The Site Plan meets all of the requirements of the zone in which it is located, and where applicable, conforms to an urban renewal plan approved under Chapter 56;*

As amended by the Conditions in the Recommendation Section of this report, the Site Plan will meet all of the requirements of the C-P zone as demonstrated in the project Data Table above.

As previously mentioned the Applicant requests approval of a parking waiver pursuant to Section 59-E-4.5 of the Zoning Ordinance.

3. *The location of buildings and structures, open spaces, landscaping, recreation facilities, and pedestrian and vehicular circulation systems are adequate, safe and efficient.*

a. Buildings

Lockheed Martin's Center for Leadership Excellence has been carefully sited and designed to fit comfortably within the established campus like corporate headquarters setting while meeting all Zoning Ordinance requirements. Consisting of a two-story Conference and Classroom Building over sub-grade parking, flanked by a 250-seat tiered Auditorium on one side and a Private Lodging Facility with 199 rooms on the other, the project represents a superior, safe and very efficient building program utilizing contemporary building design. The project as envisioned will provide an exceptional training experience through the construction of a bright, modern environment, reflecting the innovation and technology central to Lockheed Martin's future, while providing an open relaxed atmosphere for training.

The majority of the project's parking will be housed in a below-grade parking structure that is accessed from the existing ring road. Service for the project is handled discreetly by a recessed loading area.

b. Open Space

The plan proposes approximately 76% (873, 077 sf) of the site as be green area, well in excess of the minimum 40% requirement. The green area is distributed throughout the campus-like, corporate setting and will include a number of large, specimen quality trees. Much of the green area is located around the perimeter of the site providing a visual buffer to the surrounding spur roads to I-270, and along Rockledge Drive.

c. Landscaping and Lighting

The proposed landscape and lighting treatment for the Lockheed Martin Corporate Headquarters site consists of a bold planting scheme utilizing masses of perennials, grasses, shrubs and trees. The landscape has been designed to compliment the bright, contemporary building, with an open and ordered landscape design reflective of the balance between the precision of technological innovation and the organic dynamics of natural interaction. A sense of integrated balance is achieved through the use of minimalist details allowing the central water feature, leveled entry court, and covered walkway connecting the new Center with the existing building, to help blur the perceived edge between interior and exterior spaces. A grove of Locust trees interspersed with low lighting bollards on a parallel grid celebrates and reflects the technical orders of the building while integrating precise geometry with and organic and green nature of the campus-like corporate setting. This landscape design also serves to contain views within the site and visually buffers views of buildings beyond by providing a soft greened foreground tied to the building as well as the site.

In the center of the project, as a foreground to the Conference Facility and the Auditorium, a large, flat reflecting pool is proposed. The pool is designed as a site amenity and a replacement for the existing, attractive, and very natural in appearance stormwater management pond which will be removed to build the new training facility. Additional construction details for the reflecting pool, including materials, depth of pool, lighting, planting, filtration, etc. should be provided prior to certified signature set approval. Upon review and approval by staff of these details, the landscape and lighting will be adequate, safe and efficient.

d. Recreation

There are no recreation requirements for non-residential uses.

e. Vehicular and Pedestrian Circulation

As amended by the preceding conditions, vehicular and pedestrian circulation will be adequate, safe and efficient. This plan as amended will improve the quality of the pedestrian environment by providing enhancement of the streetscape along Rockledge Drive as envisioned by the master plan.

4. *Each structure and use is compatible with other uses and other site plans and with existing and proposed adjacent development;*

As amended by the preceding recommended Condition of Approval requiring an improved sidewalk along Rockledge Drive, each structure in and the mixed-use nature of the development will be compatible with other uses and other Site Plans and with existing and proposed adjacent development.

5. *The Site Plan meets all applicable requirements of Chapter 22A regarding forest conservation, Chapter 19 regarding water resources protection, and any other applicable law.*

The project is exempt from Forest Conservation since the project is already developed and a new Preliminary Plan of Development is not required.

The proposed stormwater management concept consists of on-site channel protection measures via underground storage in two concrete vaults; on-site water quality control via five structural sand filters and four Filterra structures. The Stormwater Concept Plan was approved by DPS on March 27, 2006.

APPENDICES

- A. Memorandums from Agencies
- B. Parking Waiver Request from Applicant
- C. Site Plan Checklist

APPENDIX A

April 3, 2006

BY HAND DELIVERY

Ms. Rose Krasnow, Chief
Development Review Division
Maryland-National Capital Park & Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910

**Re: Lockheed Martin Corporate Headquarters
Amendment to Site Plan No. 8-74005
Request for Parking Approval and/or Waiver**

Dear Ms. Krasnow:

Our firm represents Lockheed Martin Corporation ("LMC"), the Applicant for an amendment to the above-referenced Site Plan. The Site Plan amendment proposes the construction of a 208,011 square foot corporate training facility, known as the Center for Leadership Excellence ("Center"), on the campus of LMC's corporate world headquarters located at 6801 Rockledge Drive in the Rock Spring Park area of North Bethesda, Maryland. In addition to the current campus parking, the Site Plan amendment seeks to install 280 parking spaces (including 5 handicapped spaces) below the Center and 2 handicapped surface spaces at the entrance to the Center in order to meet its parking needs. The purpose of this letter is to obtain the Planning Board's consent to this parking proposal. To the extent that the number of spaces appears to be fewer than the minimum parking requirements of Section 59-E-3.7 of the Montgomery County Zoning Ordinance ("Zoning Ordinance"), we request a parking waiver pursuant to Section 59-E-4.5 of the Zoning Ordinance as part of the Planning Board's action on the Site Plan amendment.

LMC has been conducting leadership training programs off-site for many years. It is very familiar with the limited parking requirements of its program participants. Program attendees typically are from out-of-town and usually arrive by plane for a 3-day or 5-day session. Attendees are strongly

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encouraged to take taxis or other forms of public or quasi-public transportation to and from the airport. Very few attendees arrive by single occupancy vehicle. In addition, there is little incentive for attendees to leave the hotel or training site. Training classes take up most of the day and tend to be intensive. Attendees need to spend time reviewing materials and preparing for the training sessions. Moreover, LMC encourages attendees to congregate together during downtime to foster relationship-building and the free exchange of ideas. To this end, LMC arranges for bus transportation to attend outside events, as necessary, during a training session. Current attendees infrequently bring or rent automobiles for any private excursions during training sessions.

The new Center will combine the training and lodging elements of the current training sessions. All other aspects of the current training sessions will remain the same. As a result, there is virtually no reason for attendees to keep a car on LMC's campus during the training session, unless they arrived by automobile. In addition, the Center will not be used for receptions or other events that are attended by non-corporate or training personnel. The LMC campus is a secured area and cannot accommodate these types of public gatherings.

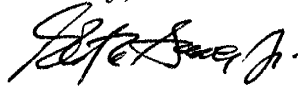
Given the use of the proposed space for a corporate training center on a secured campus, the various parking calculations set forth in Section 59-E-3.7 of the Zoning Ordinance do not accurately address the Center's unique situation. The most applicable uses, from which parking calculations are determined, are "dormitory," "hotel, motel," and/or "meeting center." These use categories, however, contemplate the needs of typical commercial / public parking users. As discussed above, the Center is not typical in this regard and the defined use categories do not apply.

The proposed Center has accounted for all anticipated parking needs, with a buffer for modest program growth. The proposed parking spaces set forth in the Site Plan amendment are sufficient to meet the Center's needs. To the extent that the Zoning Ordinance's parking standards apply to the Center's unique circumstance, LMC has determined that it does not need the full number of spaces that would normally be required.

April 3, 2006
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We respectfully request that LMC's parking proposal be approved or, in the alternative, the basic parking requirements be reduced to 282 spaces at the proposed Center. We will further address this issue during the site plan hearing if required. Thank you very much for your consideration.

Sincerely,



Robert G. Brewer, Jr.

Cc: Terri E. Beattie, President, LMC Properties, Inc.
James J. DeNapoli, VP and General Counsel, LMC Properties, Inc.
Edward L. Knowles, Director, Architecture & Interior Design,
Lockheed Martin Corporation



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

March 27, 2006

Mr. Steven L. Wilde
Macris, Hendricks & Glascock
9220 Wightman Road
Montgomery Village, Maryland 20886

Re: Stormwater Management **CONCEPT** Request
for Rock Spring Park /Lockheed Martin
SM File #: 223891
Tract Size/Zone: 26.6 Acres / C-P
Total Concept Area: 11.1
Parcel(s): 4
Watershed: Cabin John Creek

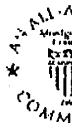
Dear Mr. Wilde:

Based on a review by the Department of Permitting Services Review Staff, the stormwater management concept for the above mentioned site is **acceptable**. The stormwater management concept consists of on-site channel protection measures via underground storage in two concrete vaults. On-site water quality control will be provided via five structural sand filters and four Filterra structures. Onsite recharge will be provided via infiltration.

The following items will need to be addressed **during/prior** to the detailed sediment control/stormwater management plan stage:

1. Prior to permanent vegetative stabilization, all disturbed areas must be topsoiled per the latest Montgomery County Standards and Specifications for Topsoiling.
2. A detailed review of the stormwater management computations will occur at the time of detailed plan review.
3. An engineered sediment control plan must be submitted for this development.
4. All filtration media for manufactured best management practices, whether for new development or redevelopment, must consist of MDE approved material.
5. Obtain all required permits for the removal of the existing wet pond.
6. In the sequence of construction, include the submittal of an as-built for the existing, on-site pond that is to remain. Submittal of the as-built is required prior to bond release for the proposed project.
7. Provide full onsite recharge.

This list may not be all-inclusive and may change based on available information at the time.



Post-it* Fax Note	7671	Date	3/29/06	# of pages	2
To	Steve Wilde	From	Eileen Rader		
Co./Dept.	MHG	Co.	DPS		
Phone #	301-670-0840	Phone #	240-777-6336		
Fax #	301-948-0693	Fax #	240-777-6337		

Payment of a stormwater management contribution in accordance with Section 2 of the Stormwater Management Regulation 4-90 is not required.

This letter must appear on the sediment control/stormwater management plan at its initial submittal. The concept approval is based on all stormwater management structures being located outside of the Public Utility Easement, the Public Improvement Easement, and the Public Right of Way unless specifically approved on the concept plan. Any divergence from the information provided to this office; or additional information received during the development process; or a change in an applicable Executive Regulation may constitute grounds to rescind or amend any approval actions taken, and to reevaluate the site for additional or amended stormwater management requirements. If there are subsequent additions or modifications to the development, a separate concept request shall be required.

If you have any questions regarding these actions, please feel free to contact Ellen Rader at 240-777-6336.

Sincerely,



Richard R. Brush, Manager
Water Resources Section
Division of Land Development Services

RRB:dm CN223891.RockSpr,Lockheed.EBR

cc: C. Conlon
S. Federline
SM File # 223891

QN -onsite; Acres: 11.1
QL - onsite; Acres: 11.1
Recharge is provided

June 29, 2006

BY HAND DELIVERY

Ms. Rose Krasnow, Chief
Development Review Division
Maryland-National Capital Park & Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910

**Re: Lockheed Martin Corporate Headquarters
Site Plan Amendment No. 81974005B
Supplement to Request for Parking Approval
and/or Waiver**

Dear Ms. Krasnow:

As you know, our firm represents Lockheed Martin Corporation ("LMC"), the applicant for an amendment to the above-referenced Site Plan. The Site Plan amendment proposes the construction of a 208,011 square foot corporate training facility, known as the Center for Leadership Excellence ("Center"), on the campus of LMC's corporate world headquarters located at 6801 Rockledge Drive in the Rock Spring Park area of North Bethesda, Maryland. The Center will be used exclusively by LMC's employees and invited guests. As part of its amendment application submitted on April 3, 2006, LMC requested approval for a total of 282 parking spaces because the Center's parking needs are unique and do not correspond to any standard parking calculations set forth in Montgomery County's Zoning Ordinance. At the Development Review Committee ("DRC") meeting on May 8, 2006, it was requested that LMC provide more detail regarding the parking approval request. This letter responds to the DRC request and supplements our initial request for Parking Approval and/or Waiver dated April 3, 2006.

In addition to the current parking of approximately 503 underground and 14 surface spaces for LMC's headquarters building, the Site Plan amendment seeks to provide 280 structured parking spaces (including 5 handicapped spaces) below the Center and 2 handicapped surface spaces at the entrance to the Center.

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LMC determined the Center's parking needs from its lengthy history of hosting corporate special events and its significant experience in providing off-site training programs. It is anticipated that the Center will provide a venue for some of LMC's special events and all of its training programs. The training programs will continue in their current form, both in terms of content and attendees. Under these circumstances, LMC evaluated the number of spaces the Center would require, with a buffer for modest growth.

Training Programs

As discussed in our previous letter dated April 3, 2006, the training programs typically run from Sunday or Monday to Friday, and are held during 48 weeks of the year. LMC estimates that the Center will accommodate a maximum of 250 training program attendees (including program participants and related speakers / support personnel) per day. At capacity, all of the Center's 200 guest rooms would likely be occupied. However, each room will house only one attendee because of rooming policies and security concerns. The LMC campus is a secured facility and cannot accommodate guests of attendees. LMC has conservatively estimated that the Center will require up to thirty employees during its largest shift to provide dining and lodging assistance to attendees. Assuming single-occupancy vehicle travel for all attendees and employees, the maximum number of vehicles at the Center during training programs would be 280. From prior experience, however, LMC predicts that this number will be considerably lower.

At least fifteen percent (15%) of the attendees of a typical training program is comprised of corporate employees of LMC's headquarters building. These employees' parking needs are already addressed by the headquarters' ample parking or by established alternative commuting habits. In other words, corporate employees who attend a training program will not park in the Center. Thus, the Center's maximum parking needs may be reduced by at least 38 vehicles (15% x 250 attendees).

Based upon prior off-site experience, approximately twenty percent (20%) of attendees who require lodging arrive at the hotel through taxi or other quasi-public forms of transportation. During the largest program, this would mean an additional 40-car parking reduction (20% x 200 lodging guests). In addition, LMC intends to institute a policy which encourages all non-corporate attendees to use public or quasi-public transportation to arrive at the Center. This

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new policy would be instituted to correspond with the Center's opening. The consolidation of lodging and training on campus will also enable LMC to monitor the policy's effectiveness and, if necessary, implement further measures to discourage the use of single occupancy vehicles during training programs. LMC reasonably expects that the policy will result in an additional 15-20% fewer cars at the Center.

As a result LMC estimates that its largest training program will require approximately 162 parking spaces, which is well below the Center's 282 proposed spaces. This figure is calculated as follows:

- 280 spaces (assuming 250 program attendees and 30 Center staff)
- 38 spaces (representing corporate headquarters' employees who will not park at the Center)
- 40 spaces (representing lodging guests who arrive at the Center through public or quasi-public transportation)
- 40 spaces (representing an estimate of the number of attendees who respond to LMC's policy recommendation to arrive at the Center through public or quasi-public transportation)

162 spaces required at training program capacity

Special Events

LMC anticipates that it will hold a limited number of special conference or party events at the Center throughout the year. As discussed in the original Request for Parking Approval / Waiver, the Center will not be used for public receptions or other events not directly affiliated with LMC. The LMC campus is a secured area and cannot accommodate public gatherings. These events will require the use of many of the new structured parking spaces.

The Center's largest special event would be LMC's corporate Holiday Party, attended exclusively by headquarters' employees and their spouses / dates. Based upon previous experiences, approximately 450 guests attend the Holiday Party. Parking for this event will be provided in the headquarters' building (for headquarters' personnel) and the Center (for spouses / dates arriving separately). Valet parking will also be provided. To the extent that overflow parking is required, a limited number of cars may be parallel-parked along LMC's internal

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roads. These roads are wide enough to accommodate both parking and emergency vehicle access. Thus there is more than sufficient parking to accommodate the unique circumstances generated by the Holiday Party and other smaller special events.

Montgomery County Zoning Requirements

The current parking requirements in the Montgomery County Zoning Ordinance do not address the Center's parking reality. Although the Zoning Ordinance defines the Center's use (*i.e.*, "corporate training center"), no parking requirements are associated with it. Similarly, no parking requirements are prescribed for "conference centers."

The closest use category, for which parking requirements apply, does not contemplate the Center's unique circumstances. The parking requirements for "hotel, motel or inn" contemplate commercial users in a centrally located facility. The LMC campus is relatively isolated and access to the public is prohibited. General commercial standards would therefore not apply. If the hotel parking requirements were applied, the Center would need to provide approximately 1,361 parking spaces (.7 x 200 rooms, plus $[(122,114 \text{ sf of gross floor area used for meeting rooms and other similar places of assembly} \div 1,000) \times 10]$). This number is completely inconsistent with the Center's unique needs discussed herein. Moreover, LMC would be required to utilize surface parking to comply with the requirement, resulting in an eyesore and a waste of valuable greenspace. Such an outcome would undermine the efforts in the current plan to maintain a pristine and inviting campus environment.

Conclusion

LMC has accounted for all of the Center's anticipated parking needs, with a buffer for modest growth. LMC is well aware that the Center will be located in an area where off-street parking opportunities are limited and all of its parking needs must be self-contained. In this context, LMC has thoughtfully considered its projected parking needs for the foreseeable future. The Site Plan amendment provides more than adequate space for normal program operations. It also provides sufficient parking for a limited number of special events and unanticipated parking demand. The proposed parking spaces set forth in the Site Plan amendment are sufficient to meet the Center's needs.